

AIKEN COUNTY MOBILE HOME MOVING PERMIT PROCEDURE

Manufactured housing built prior to June 15, 1976 shall not be permitted to be placed or relocated for any use within Aiken County, for reasons of safety, except for relocation to a manufactured-home dealer's lot, owner occupied or to an authorized recycling, salvage, or landfill facility.

All applicable taxes must be paid before a mobile home can be registered, traded or moved within or out of Aiken County.

A. IF MOVING A MOBILE HOME WITHIN AIKEN COUNTY YOU WILL NEED:

- a. A receipt from the Aiken County Treasurer (828 Richland Ave. West, Aiken, SC 29801) showing no taxes are due. Pay any taxes that are due.
- b. If the mobile home has a new owner a copy of the certificate of title or a copy of the State Form 400 and the receipt from DMV
- c. Name of mobile home moving company.

These items must be completed **BEFORE** the mobile home is moved.

B. IF MOVING A MOBILE HOME TO AIKEN COUNTY FROM ANOTHER COUNTY IN SOUTH CAROLINA, YOU WILL NEED:

- a. A copy of the Moving Permit issued by the other county.
- b. A copy of the paid tax receipt from the other county.
- c. A copy of the certificate of title or a copy of the State Form 400 and receipt from DMV

C. IF MOVING A MOBILE HOME FROM AIKEN COUNTY OR TO A DEALERS LOT YOU WILL NEED:

- a. A receipt from the Aiken County Treasurer showing no taxes are due for the current year. Pay any delinquent and current year taxes due even if current year taxes are not due yet and get receipt.
- b. A copy of the certificate of title or a copy of the State Form 400 and receipt from DMV.

You must register the mobile home in the county to which it is moved within 15 days of the move. It is recommended that you check with the registering agent in the receiving county BEFORE the move to inquire about possible zoning and similar regulations.

NOTE: Effective January 1, 1997, all mobile home movers/installers/set-up companies must be registered with the SC Department of Labor, Licensing, and Regulation (SCLLR).

February 15, 2012

AIKEN COUNTY MOBILE HOME PERMIT STEPS

1. Go to the E-911 Division of the Planning & Development Department, Suite 130, Kalmia Mall, 1680 Richland Avenue West, Aiken, SC 29801 to obtain your address verification. If you need a new address, you must supply a plat and deed with the tax parcel number. Addresses are assigned based on driveway location. If the property is being developed, your driveway must be in place or marked in order for us to assign an address. In some cases, we may need to field-verify the property. This process registers you with the Enhanced 911 Emergency System.
2. Go to the Planning & Development Department, Suite 130, Kalmia Mall, to obtain a Mobile Home Development Permit. This Permit verifies that your mobile home is allowed in your zoning district and that you are not placing your mobile home in a flood hazard area. The Aiken County fee for this Permit is **\$15.00**.
3. Go to DHEC Environmental Health, Suite 120, Kalmia Mall, to obtain a copy of the approved septic tank. If a new septic tank is being installed, it is necessary to pay a fee of **\$150.00** to DHEC. A plat or deed to your property will be required by DHEC with your application to construct a new septic tank if your property is not located within an approved subdivision.
4. Contact the power company before you do any electrical work. You need to place your order so that the power company can spot your power pole.
5. If purchased from a Mobile Home Dealer bring your purchase agreement and the Form 400. If purchased from an individual bring the title in the correct owners name or the receipt and copy of the form 400 from the DMV and all paper work obtained in steps 1 through 3 above to the Planning & Development Department, Suite 130, Kalmia Mall, to obtain a Mobile Home License (**\$5.00**), Mobile Home Certificate of Occupancy (**\$20.00**), and Mobile Home Registration (**\$175.00**), for these three items the fees total **\$200.00**. A Mobile Home Moving Permit may also be obtained from the Planning Department, if required, the fee is **\$30.00**. Completion of this step will register your mobile home. If the mobile home is bought in place only the Mobile Home License will be issued.
6. Registering your mobile home and paying the various fees does not mean that you are scheduled for an inspection. Call the Planning Department, 642-1518, between 8:30 a.m. and 5:00 p.m., Monday through Friday, the day before you need the inspection. **NO** inspections can be made the same day as requested. Inspections will be made the next working day following the request. When calling, give the mobile home sticker number and the street address. Inspections are not required for mobile homes bought in place and not being moved.
7. The Certificate of Occupancy mentioned in step 5 will not be issued until the Planning & Development Department has inspected and approved the mobile home pier construction, tie-downs, under-skirting, permanent steps at all exterior doorways, water and septic tank hookups, power hookup, have all moving or towing apparatus removed or concealed, including hitch, wheels and axles, and 911 street number placement. In addition, used mobile homes which are being moved to a location within the unincorporated area of Aiken

County must comply with the fourteen Minimum Habitability Standards described on pages 13 and 14 before the Certificate of Occupancy can be issued and before electric power can be provided to the home. The Certificate of Occupancy is not required for mobile homes bought in place and not being moved.

Be sure to have the mobile home open for inspection. The electrical panel cover must be taken off by the owner before the inspection can be made.

NOTE: MOBILE HOMES ARE APPROVED FOR RESIDENTIAL USE ONLY, AND CANNOT BE APPROVED FOR COMMERCIAL USES SUCH AS RETAIL STORES, BUSINESS OFFICES, BEAUTY PARLORS, OR FOR INSTITUTIONAL USES SUCH AS SCHOOLS OR CHURCHES, UNLESS BROUGHT INTO COMPLIANCE WITH APPLICABLE BUILDING CODE STANDARDS. MOBILE HOMES ARE NOT ALLOWED TO BE USED AS A STORAGE UNIT.

November 12, 2009

AIKEN COUNTY MOBILE HOME ORDINANCE

The following requirements apply to mobile homes placed either on individual parcels of land or in mobile home parks, except that mobile homes replacing mobile homes located in mobile home parks in operation prior to July 1, 1992 are exempt from the separation and setback requirements (items 1 and 2):

1. **Separation.** Mobile homes shall be placed a minimum of 20 feet from any permanent structures or other mobile homes located on the same lot or on adjacent lots.
2. **Setbacks.** Mobile homes shall not be placed closer than 30 feet from any road right-of-way line, 20 feet from the rear property line, and 10 feet from the side property line. Greater setbacks may be required in mobile home subdivisions or parks, or on identified major thoroughfares and arterial roads.
3. **Foundations (Blocking).** Refer to two attached drawings of pier construction. Cast-in place concrete piers meeting the same requirements shown on the two drawings may be substituted for piers constructed of masonry units.
4. **Tie downs.** Frame ties are required at each corner, with one intermediate tie on the long side of mobile homes less than 50 feet, not including tongue, for a total of 6. For mobile homes 50 feet or longer, an additional intermediated tie down is required, for a total of 8. Any additions to mobile homes shall be anchored similarly.
5. **Skirting** under mobile homes is required. When skirting is installed, it shall be secured to minimize wind damage. Access opening(s) not less than 18 inches in any dimension and not less than 3 square feet in area shall be provided and located so that water supply and sewer drain connection are accessible for inspection.
6. **The septic tank or sewer connection** must be approved by DHEC before the Certificate of Occupancy can be issued and before electrical power can be turned on.

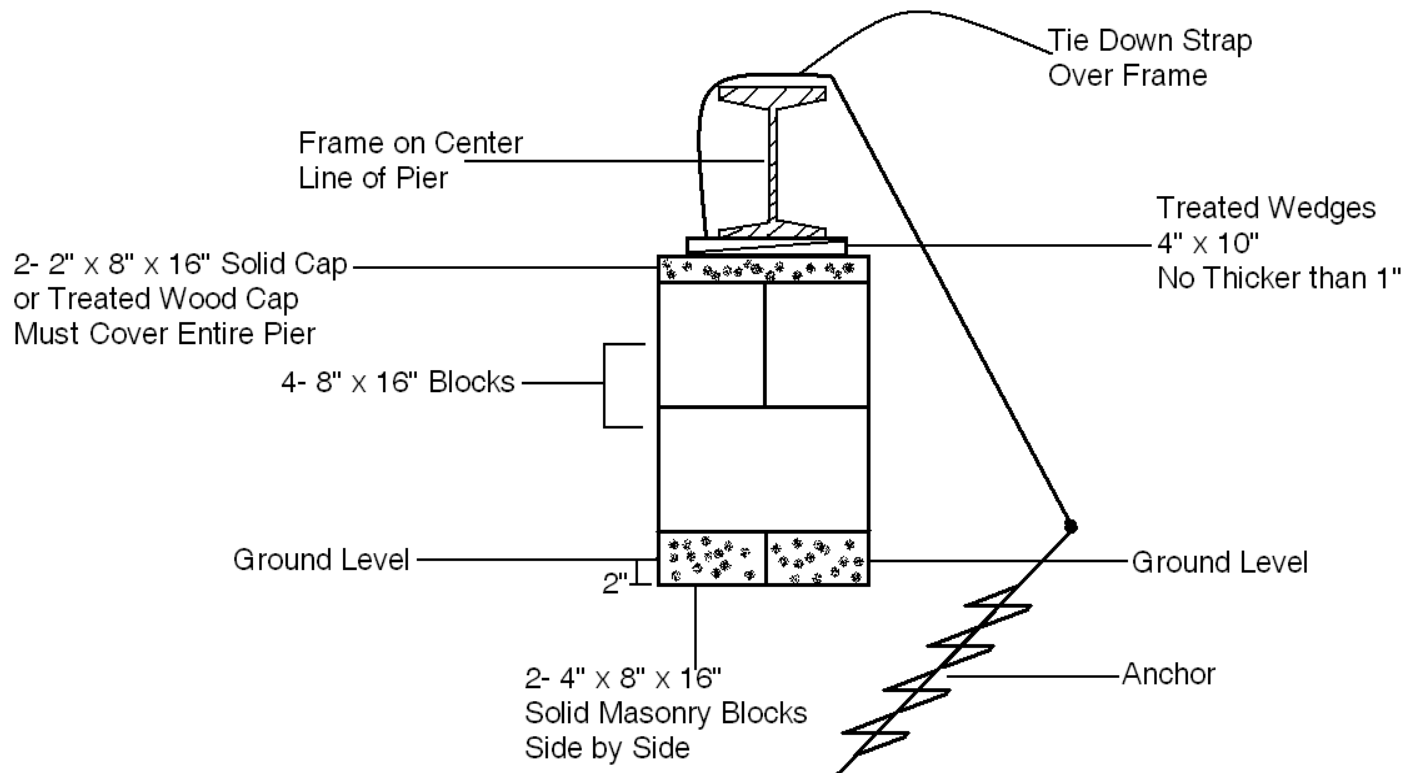
THE SIX REQUIREMENTS SHOWN ABOVE DO NOT APPLY TO MOBILE HOMES BOUGHT IN PLACE WHICH ARE NOT BEING MOVED.

7. **Mobile Home License (Sticker)** must be attached by using the sticker's self-sticking adhesive to the outside of a front window of the mobile home so that the sticker is easily visible from outside the home.
8. **Your 911 street numbers** must be posted on the mobile home so as to be easily visible from the road or driveway. Residential numbers must not be less than three inches in height. All numbers must be made of a durable, clearly visible material and must contrast with the color of the mobile home. Reflective numbers for nighttime identification are strongly recommended; and, in cases where the home is situated more than fifty feet from the street or road, the number must also be placed near the walk, driveway, or common entrance to the home, or upon the mailbox, gatepost, fence, or other appropriate place so as to be easily read from the street or road. Your street number must be in place before the Certificate of Occupancy can be issued.

SEE ATTACHED DRAWINGS

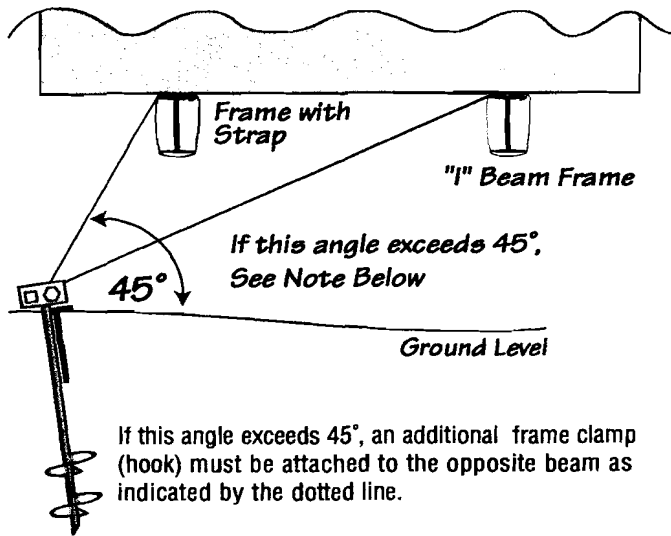
Pier Construction Under 80" High
For Mobile Homes
Aiken County Planning & Development
Codes Division

Ten Foot Pier Spacing



INSTALLATION INFORMATION

Frame Tie to Anchor

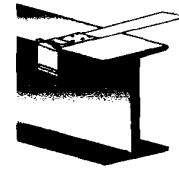


If this angle exceeds 45°, an additional frame clamp (hook) must be attached to the opposite beam as indicated by the dotted line.

A Stabilizer Plate must be installed on all frame Ties. (or alternate method of stabilizing ground anchor.)

Select proper anchor for soil conditions using the Soil Test Probe, or other approved method of determining soil classification.

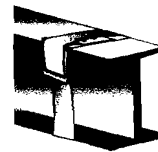
Frame Tie with Buckle



1. Install strap by pushing the end between the inside of the frame "I" beam and the floor.



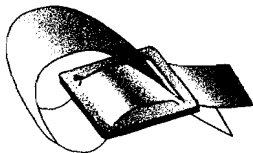
2. Position the buckle at upper end of the "I" beam frame. Wrap the end of the strap around the "I" beam. Thread the end of the strap through the slot in the buckle as shown. Push the end of strap in-between "I" beam and floor.



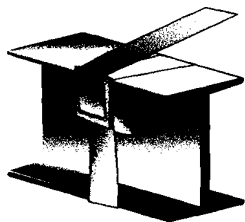
3. Pull the strap, making certain the buckle stays in position. Thread loose end of strap thru slotted tensioning bolt attached to tension head of anchor. Tighten slotted tensioning bolt a minimum of 4 to 5 full turns until all slack in strap is removed.



Strap Buckle - MBU



- Thread length of frame tie strap through strap buckle as shown.

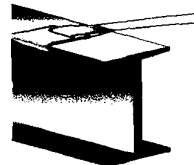


- Next, thread long end of strap between frame and floor of home. Bring strap through buckle as shown in diagram and fasten to anchor head.



- Diagram shows strap in position around frame and through buckle. It is important to remove all slack from system.

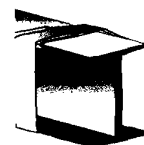
Frame Tie with Hook



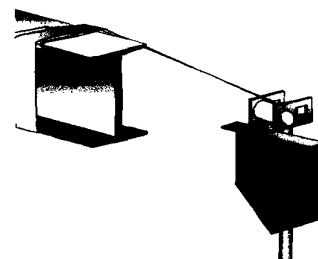
1. Attach frame hook to top inboard location of "I" beam.



2. Keeping in line with the hook, wrap galvanized strap completely around "I" beam.



3. Thread loose end of strap through slotted tensioning bolt attached to tension head of anchor. (Anchor must be properly installed into the ground before proceeding with step #4.)



4. Tighten slotted tensioning bolt a minimum of 4 to 5 full turns until all slack in strap is removed.

PROCEDURE FOR EXISTING SEPTIC TANKS FOR AIKEN COUNTY MOBILE HOME PERMITS

1. If an existing septic tank in an approved mobile home park is to be used, notify the E-911 Division, which will determine whether the mobile home park has sufficient approved septic tanks to accommodate your mobile home.
2. If you are replacing a registered mobile home which has an approved septic tank, notify the DHEC Department, which will attempt to locate the earlier septic tank permit. If a new septic tank is being installed notify the DHEC Department to pay the fees for a perk test.
3. If a septic tank permit can be found in the DHEC records, DHEC will give you a copy of the permit to take back to Planning & Development. However, if no septic tank permit can be found in the DHEC records, DHEC will provide you with information concerning an alternative form named CERTIFICATION OF EXISTENCE OF A WASTEWATER DISPOSAL SYSTEM. This form requires a septic tank contractor to visit the existing septic tank to verify its existence. After the contractor and the mobile home owner have signed the CERTIFICATION form, take the form to Planning & Development. Then continue with Step 5 of the PERMIT PROCEDURE on the preceding page 1.

February 15, 2012

atlas/codes/2006codes/septicpermit

POST YOUR 911 STREET NUMBER

Your 911 street number must be posted on the mobile home so as to be easily visible from the road or driveway. Residential numbers must not be less than three inches in height. All numbers must be made of durable, clearly visible material and must contrast with the color of the mobile home. Reflective numbers for nighttime identification are strongly recommended. In cases where the home is situated more than fifty feet from the street or road, the number must be placed not only on the mobile home but also must be placed near the walk, driveway, or common entrance to the home, or upon the mailbox, gatepost, fence, or other appropriate place near or at the street or road so as to be read easily from the street or road.

Your 911 street number must be in place before the Certificate of Occupancy can be issued and before electric power can be provided to the mobile home.



**DIAL 911
ON YOUR PHONE
THE LIFE YOU SAVE
MAY BE YOUR OWN**

August 1, 2007

[atlas/codes/2007codes/911number](#)

SEPTIC TANKS

Septic tanks must be approved (permitted) by the Health Department, hooked up, and in working order. A cleanout should be installed at beginning of the septic line and at any turn in the line.

ELECTRICAL

The National Electrical Code, Section 550, shall apply to all electrical services to mobile homes. This code requires that the feeder assembly for a mobile home consist of four color-coded insulated conductors, one of which is the grounded conductor (white) and one of which is used for grounding purposes (green). Thus, the Agrounded@ and Agrounding@ conductors are kept independent of each other and are connected only at the service equipment (at the point of connection or the grounding electrode conductor). Grounding of both electrical and nonelectrical metal parts, including the frame of the mobile home or the frame of any appliance, is accomplished by connection to the equipment grounding bus, never to the grounded conductor (neutral bus). Bonding screws, straps, or buses which bond the grounded (neutral) circuit conductors to the noncurrent-carrying metal parts in the mobile home panel-board or in appliances (ranges, clothes dryers, etc.) are required to be removed and discarded.

MINIMUM WIRE SIZES (RESIDENTIAL ONLY)

	100 AMP SERVICE	150 AMP SERVICE	200 AMP SERVICE
SERVICE CONDUCTORS	#4 copper or #2 aluminum	#1 copper or 2/0 aluminum	2/0 copper or 4/0 aluminum
EQUIPMENT GROUND CONDUCTORS	#8 copper (green insulation)	#6 copper (green insulation)	#6 copper (green insulation)
GROUND CONDUCTORS (TO GROUND ROD)	#8 copper or #6 aluminum (bare)	#6 copper or #4 aluminum (bare)	#4 copper or #2 aluminum (bare)

Direct-burial conductors will have 30 inches of soil cover and protection by means of enclosures or raceways extending 18 inches below grade. Wire in conduit will have 30 inches of soil cover for PVC, and 18 inches for metallic conduit. Do not cover or backfill wiring trenches until approved by the Building Inspector.

EXTERIOR DOORS, STEPS AND LANDINGS

Mobile home owners should ask their insurance company for their requirements for exterior doors, landings, handrails and steps.

Aiken County requires adequate steps, landings and handrails at all exterior doors. The following are acceptable: precast concrete steps of appropriate height, concrete blocks or bricks properly laid with mortar, or wood or metal steps safely secured or tied down. Loose, un-mortared concrete blocks or bricks are not acceptable.

A landing is required at each exterior door, with handrails on the steps and guardrails on the landing if the landing is more than 30 inches high.

SEE ATTACHED DRAWINGS

August 1, 2007

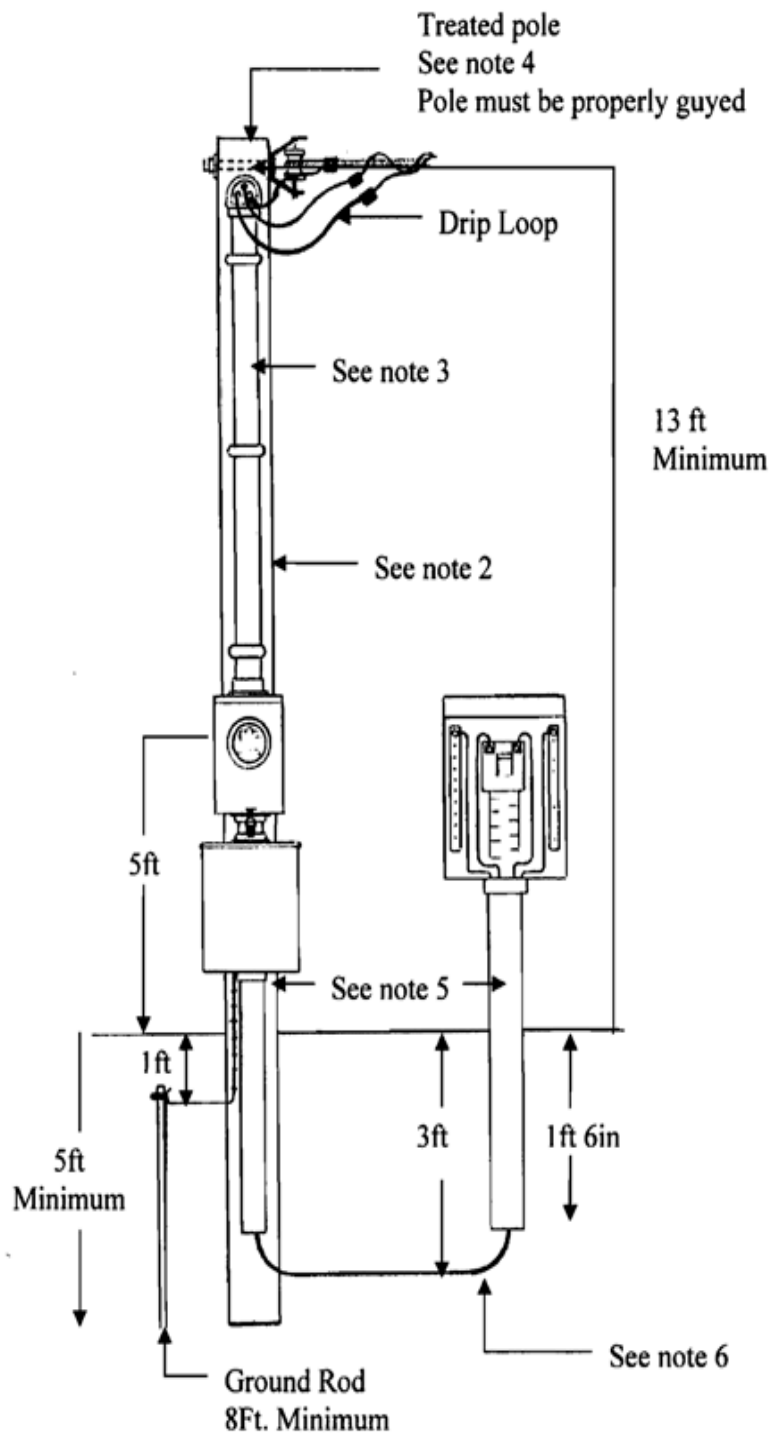
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Manufactured Home Electric Service

Single Wide Homes: Electric services must be on a pole and disconnecting means rated the same as disconnect inside home. Check with power provider for underground and above ground installation requirements. (See manufactured home handout for electrical set-up requirements and the current edition of the National Electrical Code). As always, use only State of South Carolina licensed electrical contractors.

Double Wide Homes: Electric services may be securely attached to the side of the home or on a pole. Check with electrical provider for underground and above ground installation requirements. Some electrical providers do not allow above ground attachments to manufactured homes. For all manufactured homes a disconnecting means **must** be located outside with the meter. (See manufactured home handout for electrical set-up requirements and the current edition of the National Electrical Code). As always, use only State of South Carolina licensed electrical contractors.

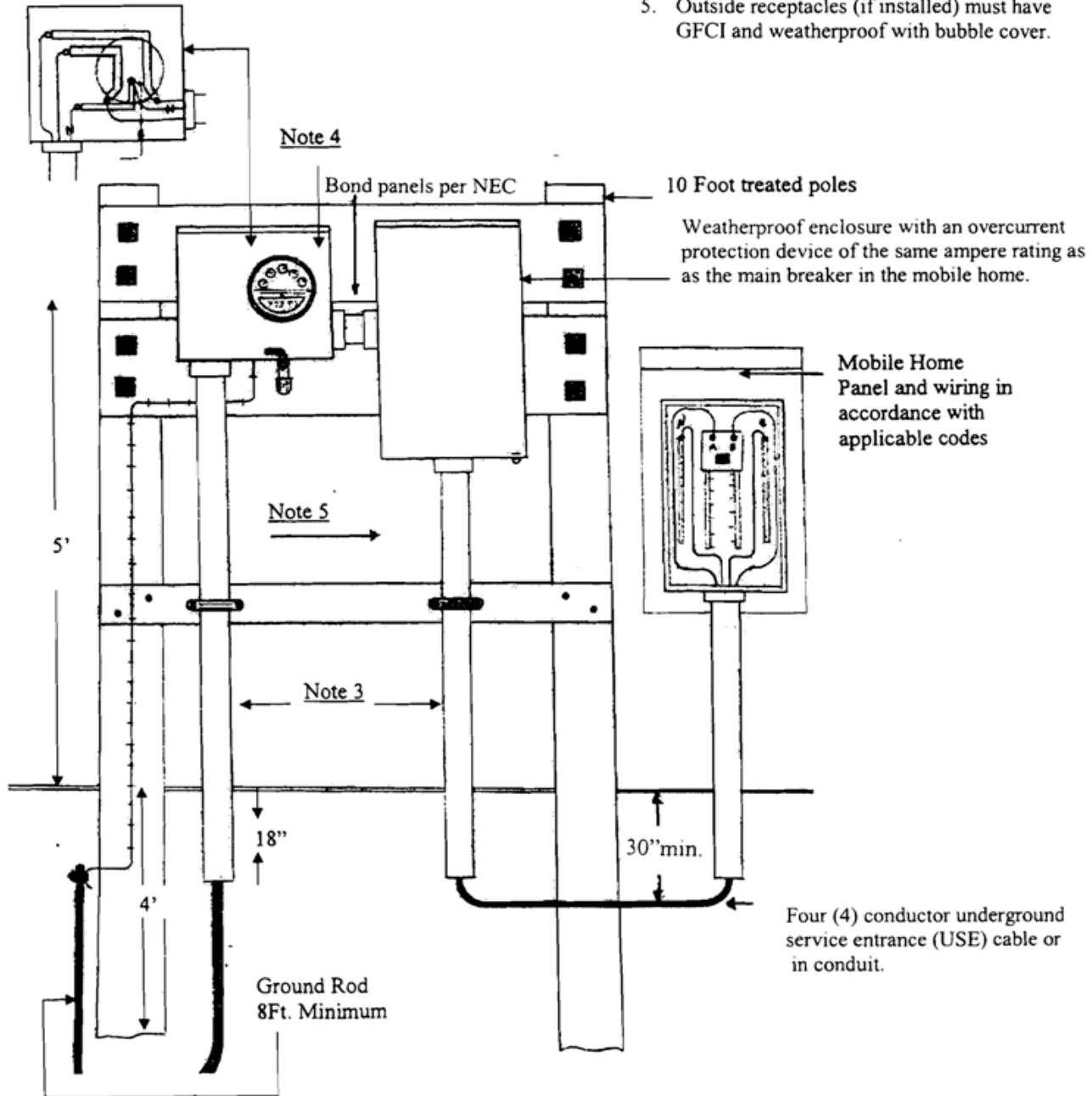
Permanent Mobile Home Overhead Service



1. Meter location must be approved by Aiken Electric Co-op
2. All wiring shall be in accordance with the latest edition of the N.E.C., N.E.C.S. and any local government agency having jurisdiction
3. Minimum height weather head 13ft
4. Pole minimum height 20ft
Minimum diameter 6in
5. Minimum size conduit 2 inches
6. Four (4) conductor UF or use cable-direct buried or in conduit.

Aiken County Permanent Underground Service For Mobile Homes

1. Power Co. must approve meter location.
2. All wiring shall be in accordance with the latest edition of the National Electrical Code and Aiken County regulations.
3. Minimum size conduit 2 ½ inches.
4. Power company uses left side of meter base.
5. Outside receptacles (if installed) must have GFCI and weatherproof with bubble cover.



USED MOBILE HOMES

Section 13.5-9. Minimum Habitability Standards of the Code of Ordinances of Aiken County requires that all used mobile or manufactured homes moved to or within any unincorporated area of Aiken County and intended for use as dwellings must provide a safe and sanitary living environment. Therefore, such used mobile homes must comply with the following minimum habitability requirements of Section 19-425.43.B (1) through (14) of the Regulations of the South Carolina Manufactured Housing Board, as authorized by Section 40-29-50 of the Code of Laws of South Carolina 1976, as amended, before the required Aiken County Certificate of Occupancy can be issued and before electric power can be provided to the homes:

Sanitary facilities. Every manufactured home shall contain not less than a kitchen sink, lavatory, tub or shower, and a water closet all in good working condition and properly connected to an approved water and sewer system. Every plumbing fixture and water and waste pipe shall be properly installed and maintained in good sanitary working condition free from defects, leaks, and obstructions.

Hot and cold water supply. Every manufactured home shall have connected to the kitchen sink, lavatory, and tub or shower an adequate supply of both cold water and hot water. All water shall be supplied through an approved distribution system connected to a potable water supply.

Water heating facilities. Every manufactured home shall have water heating facilities which are properly installed and maintained in a safe and good working condition and are capable of heating water to such a temperature as to permit an adequate amount of water to be drawn at every required kitchen sink, lavatory basin, bathtub or shower at a temperature of not less than 120 degrees F.

Heating facilities. Every manufactured home shall have heating facilities which are properly installed and maintained in safe and good working condition, and are capable of safely and adequately heating all habitable rooms and bathrooms. Where a central heating system is not provided, each manufactured home shall be provided with facilities whereby heating appliances may be connected. Unvented fuel-burning heaters shall be prohibited except for gas heaters listed for unvented use and the total input rating of the unvented heaters is less than 30 BTU per hour per cu. ft. of room content. Unvented fuel-burning heaters shall be prohibited in bedrooms.

Cooking and heating equipment. All cooking and heating equipment and facilities shall be installed in accordance with Federal Manufactured Home Construction and Safety Standards and shall be maintained in a safe and good working condition. Portable cooking equipment employing flame is prohibited.

Smoke detector. Every manufactured home shall be provided with an approved listed smoke detector, installed in accordance with the manufacturers' recommendations and listing. When activated, the detector shall provide an audible alarm.

Windows. Every habitable room excluding bathrooms, kitchens, and hallways shall have at least one window or skylight facing directly to the outdoors.

Ventilation. Every habitable room shall have at least one window or skylight which can be easily opened, or such other device as will adequately ventilate the room.

Electric Service. Where there is electric service available to the manufactured home, every habitable room

or space shall contain at least two separate and remote convenience outlets, and bedrooms shall have, in addition, at least one wall-switch-controlled ceiling or wall-type light fixture. In kitchens, three separate and remote convenience outlets shall be provided, and a wall- or ceiling-type light fixture controlled by a wall switch shall be required. Every hall, water closet compartment, bathroom, laundry room or furnace room shall contain at least one electric light fixture. In bathrooms the electric light fixture shall be controlled by a wall switch. In addition to the electric light fixture in every bathroom and laundry room, there shall be provided at least one convenience outlet. Any new bathroom outlet shall be properly installed, shall be maintained in good and safe working condition, and shall be connected to the source of electric power in a safe manner.

Exterior Walls. Every exterior wall shall be free of holes, breaks, loose or rotting boards or timbers and any other conditions which might admit rain or dampness to the interior portions of the walls or to the occupied spaces of the manufactured home.

Roofs. Roofs shall be structurally sound and maintained in a safe manner and have no defects which might admit rain or cause dampness in the walls or interior portion of the home.

Window sash. Window sash shall be properly fitted and weather tight within the window frames.

Interior floors, walls and ceiling. Every floor, interior wall and ceiling shall be substantially rodent-proof, shall be kept in sound condition and good repair and shall be safe to use and capable of supporting the load which normal use may cause to be placed thereon. Every toilet, bathroom and kitchen floor surface shall be maintained so as to be substantially impervious to water.

Structural supports. Every structural element of the dwelling shall be maintained structurally sound and show no evidence of deterioration which would render it incapable of carrying normal loads.

August 1, 2007

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